



The Town of Bluffton, South Carolina

POPULAR ANNUAL FINANCIAL REPORT

For the Fiscal Year Ended June 30, 2013



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Demographic and Economic Statistics

Population Statistics

Population	12,893 ⁽¹⁾
% Male	48.9% ⁽¹⁾
% Female	51.1% ⁽¹⁾
% with Bachelor's degree or higher	33.2% ⁽¹⁾
Median age.....	32.7 Years ⁽¹⁾
Per capita income	\$27,247 ⁽²⁾
Median family income	\$64,000 ⁽²⁾
Average travel time to work in minutes	22.9 ⁽²⁾

Unemployment Rate

County	7.9% ⁽³⁾
State	9.1% ⁽³⁾

References

- (1) 2010 Census
- (2) U.S. Census Bureau, 2007—2011 American Community Survey
- (3) Annual Bureau of Labor Statistics



Town of Bluffton Vision 2027

Bluffton 2027 is a beautiful Southern town that is the heart of the Lowcountry. The Bluffton community has an authentic historic district, celebrates the May River and respects the Bluffton character.

Bluffton is a community of livable neighborhoods and has unique community destinations. Bluffton residents enjoy an active lifestyle and opportunities to have fun.



A Message from the Director

To the Citizens of the Town of Bluffton:

I am pleased to present to you the Town of Bluffton's Popular Annual Financial Report for the fiscal year ended June 30, 2013. This report is intended to increase awareness throughout the community of the financial operations of the Town. As such, this report is written in a manner that will summarize and communicate, in a user-friendly manner, the Town's financial condition. I am pleased to announce the Town of Bluffton received the Award of Outstanding Achievement in Popular Annual Financial Reporting from the Government Finance Officers Association (GFOA) for our Popular Annual Financial Report prepared for Fiscal Year Ended June 30, 2012.

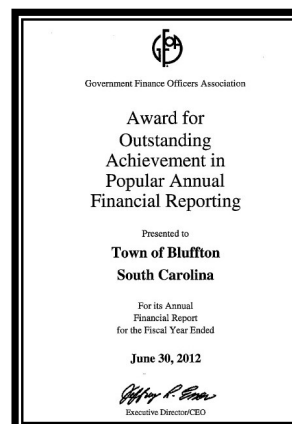
In addition to providing financial information, it is important to demonstrate what makes Bluffton a great place to live and work. Bluffton's "State of Mind" uniqueness contributes to a variety of community events and destinations. It is important for us to demonstrate the role the Town government is playing in supporting these activities.

Financial information within this report is derived in large part from the Town's 2013 independently audited set of financial statements that are prepared in accordance with generally accepted accounting principles. These audited statements are part of the Town's 2013 Comprehensive Annual Financial Report (CAFR). We are proud to say the Town's CAFR has been awarded a Certificate of Achievement for Excellence in Financial Reporting by the Government Finance Officers Association for each of the last five years.

I welcome any feedback, comments, or concerns regarding the information included in this report.

Sincerely,

Shirley A. Freeman
Director of Finance / Administration





Town of Bluffton, South Carolina

Established 1825

Bluffton at a Glance

Founded in 1852 as a popular summer location for wealthy Savannah merchants and plantation owners, Bluffton is now considered one of the fastest-growing municipalities in the state. The town situated on a bluff along the May River just twelve miles from Hilton Head, has grown 911% between 2000 and 2010. Now designated a National Historic District, Bluffton is part of the Hilton Head Urbanized Area, the Sun City-Hilton Head Urban Cluster, and the Hilton Head Island—Bluffton—Beaufort Metropolitan



The Hargray building at the USC Beaufort Campus

Colleges and Universities

The following post-secondary schools provide educational advancement opportunities to the citizens of Bluffton:

- ▶ The University of South Carolina at Beaufort (USCB)
- ▶ The Technical College of the Lowcountry (TCL)
- ▶ Savannah College of Art and Design (SCAD)

Transportation

Bluffton is located:

- ▶ 15 miles from Interstate Highway 95
- ▶ 26 miles from the Savannah/Hilton Head International Airport
- ▶ 12 miles from the Hilton Head Island Airport

The Palmetto Breeze offers public transit service via nine routes through Bluffton daily.

The Town joined the Lowcountry Area Transportation Study (LATS), a Metropolitan Planning Organization for regional organization, federally mandated to plan for transportation improvements.



About this Report

Although this report is largely derived from the Town's 2013 Comprehensive Annual Financial Report (CAFR), this report is not prepared in accordance with generally accepted accounting principles (GAAP). Information on governmental funds is presented using the current financial resources measurement focus and the modified accrual basis of accounting. The report is presented in a summarized manner and certain financial statements and note disclosures required by GAAP are omitted. A copy of the Town's audited 2013 CAFR, which is prepared in accordance with GAAP and contains more detailed information, is located at www.townofbluffton.sc.gov/documents/cafr.2013.pdf



A Bluffton “State of Mind”

Bluffton’s “State of Mind” contributes to a unique variety of community events and destinations. The Town hosts festivals throughout the year that celebrate the May River, Gullah Heritage, seafood harvests and other local art and cultural interests. Bluffton supports its active community by providing for areas to engage in river sports, nature pathways and parks. Local art, festivals and activities foster community among neighbors, provide a means for town expression and is how residents spend much of their year.

Parks and Leisure

- ▶ Oyster Factory Park
- ▶ DuBois Park
- ▶ Oscar Frazier Park
- ▶ Buckwalter Regional Park
- ▶ Tom Herbkersman Park
- ▶ Pritchard Pocket Park
- ▶ Buckwalter Place Greenway Trail
- ▶ Linear Park and Leisure Trail



Lowcountry Artists

- ▶ Four Corners Art Gallery
- ▶ Jacob Preston Studio
- ▶ Society of Bluffton Artists
- ▶ Pluff Mud Art
- ▶ Palmetto Bluff Gallery
- ▶ May River Art Gallery
- ▶ The Filling Station Art Gallery
- ▶ Gallery without Walls



Annual Festivals and Events

The Town helped to coordinate more than 230 special events during the year, below is a list of just a few:

- ▶ Bluffton Farmers Market
- ▶ Bluffton Village Festival
- ▶ Historic Bluffton Arts and Seafood Festival
- ▶ May River Clean-up
- ▶ Hand Me Down Gullah Festival
- ▶ Burning of Bluffton
- ▶ BBQ & Blues Festival
- ▶ Beer & Brats Festival
- ▶ Bluffton International Craft Beer Festival
- ▶ The Turkey Chase 5k
- ▶ Annual Bluffton Christmas Tree Lighting and Light Up the Night Events
- ▶ Bluffton Christmas Parade



Town of Bluffton, South Carolina

Established 1825

Elected Officials

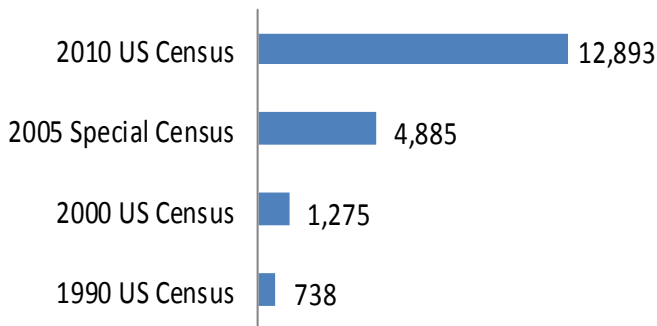
The Town of Bluffton was incorporated in 1852. The Town operates under a Council–Manager form of government. Town Council is composed of a Mayor and four Council Members. Mayor and Council members serve staggered four-year terms. The at-large elections are non-partisan and as of June 30, 2012 there were approximately 6,900* registered voters on the rolls.



Pictured from left: Councilman Michael Raymond, Councilwoman Karen Lavery, Mayor Lisa Sulka, Mayor Pro Tem Oliver Brown and Councilman Ted Huffman.

Town Council is responsible for setting millage rates during the annual budget process prior to the start of each fiscal year. The property tax rate was 49 mills in the year 2000 but has decreased to 38 mills in recent years due in large part to the Town's increased population and property development.

Bluffton Experiences 911% Growth in Population in 10 Years



FY 2013 Fact	Figure
Town Property Tax Rate:	\$35.70/\$1,000 TAV
Town Bonded Debt Tax Rate:	\$2.30/\$1,000 TAV
Total County–Wide Property Tax Rate:	\$226.30/\$1,000 TAV
Town Share of Total:	17%
Total Annual Budget:	\$19,016,370
Employees:	98 FTEs
Outstanding Debt:	\$17,414,437

TAV—Taxable Assessed Value

FTEs—Full-time Equivalents

Where Your Property Tax Dollar Goes



Town



County



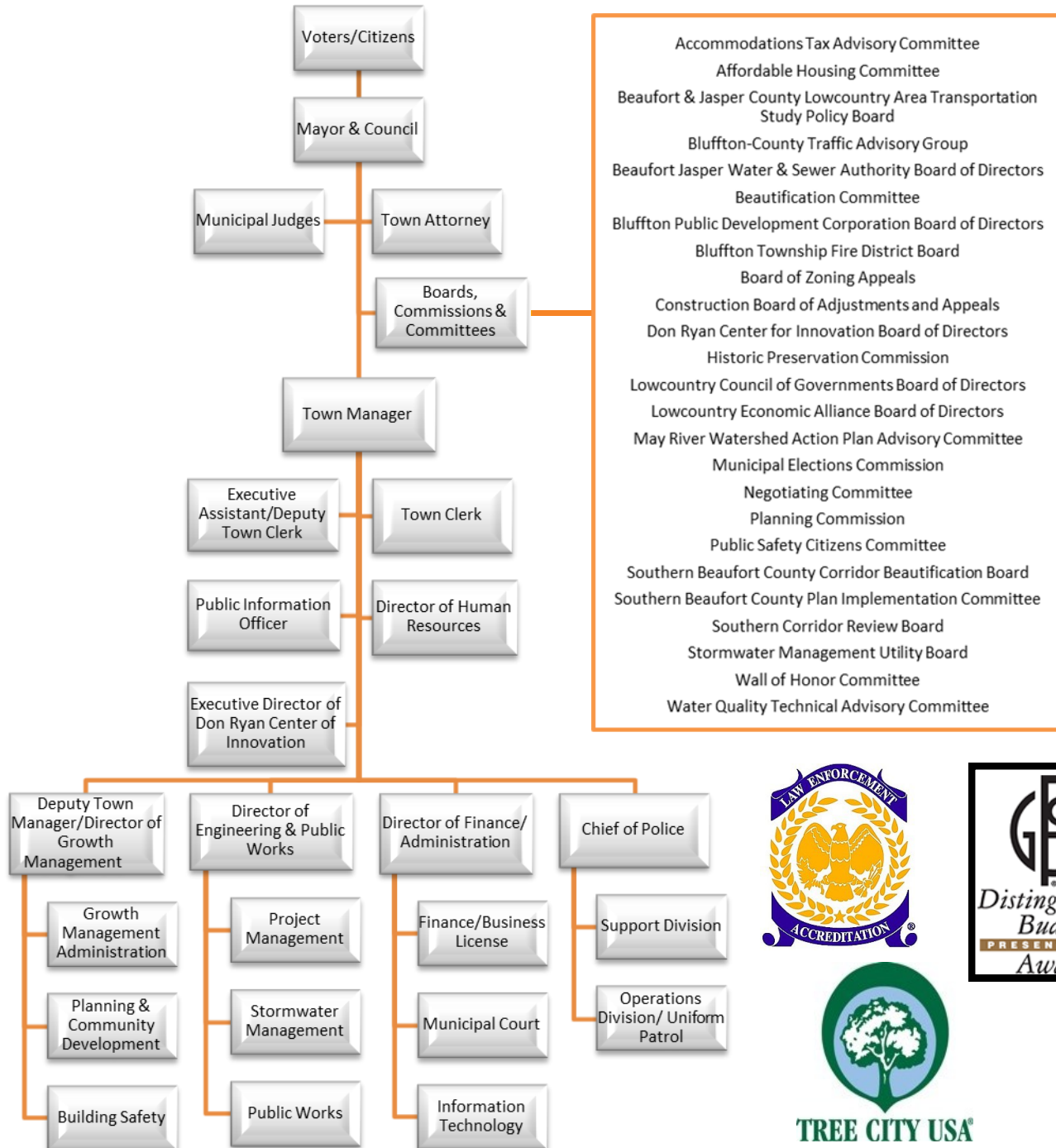
School District



Fire Dist.



Organizational Chart and 2013 Accolades



The Town received a 2013 Municipal Achievement Award for its innovation in the Wharf Street Redevelopment project. The Town won in the 10,001 – 20,000 population category. “Through this project, officials demonstrated that it is possible to integrate affordable housing into an existing city center—even a historic one,” said Miriam Hair, executive director for the Municipal Association.



Town of Bluffton, South Carolina

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Education News



Ten years ago, the town of Bluffton had one elementary school. Today we are proud to claim five elementary, two middle and one high school, and two new schools (a Pre-K through 8th grade school and a high school) are currently in the planning stages.

Of seven schools in the district rated Excellent on 2013 School Report Cards from the South Carolina Department of Education, three were Bluffton schools (Okatie Elementary, Pritchardville Elementary and Bluffton High). Of eleven district schools rated Good on their Report Cards, four were Bluffton schools. In 2013, 89.9% of Bluffton High School students passed the high school exit exam on their first attempt. That's the best performance of any

high school in the district and better than the state average. Okatie Elementary was named a National Blue Ribbon School by the U.S. Department of Education, and Bluffton High was named as a semifinalist in the statewide competition to be selected as a Palmetto's Finest School, one of the state's top honors.



Beaufort County is a past recipient of America's Promise Alliance's *100 Best Communities for Young People* for its comprehensive menu of initiatives to help young people. The

national competition recognizes communities across the country that focus on reducing high school dropout rates and providing service and support to youth.



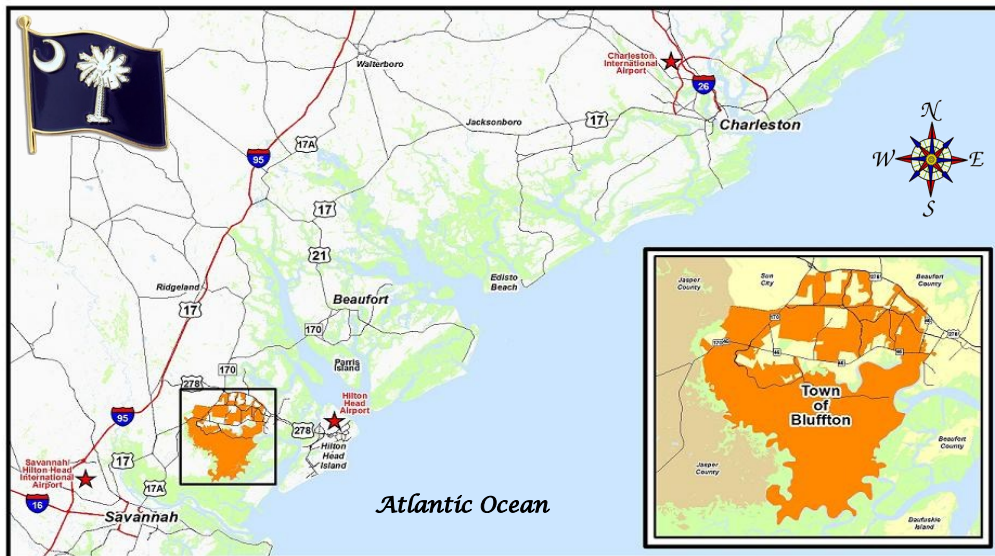
Town of Bluffton Police Officer Rutland participates in the new mentoring program for Bluffton's Elementary School Students

Pritchardville Elementary School has earned a prestigious national certification – LEED Silver status by the U.S. Green Building Council – for its energy-efficient and environmentally friendly design and construction. LEED (Leadership in Energy and Environmental Design) is an elaborate and demanding process that has become the industry standard by which sustainable and environmental construction programs are measured. LEED for Schools measures building performance in six key areas: sustainable sites, water efficiency, energy and atmosphere, materials and resources, indoor environmental quality and innovation in design.





Bluffton Tourism



As depicted in the map to the left, the Town of Bluffton is located in Beaufort County, a southern coastal county in South Carolina. Bluffton is located just 12 miles west of Hilton Head Island, SC approximately 20 miles northeast of Savannah, GA, 25 miles southwest of Parris Island, and 90 miles southwest of Charleston, SC.

Hilton Head Island is home to one of golf's greatest traditions, South Carolina's only PGA Tour event, the RBC Heritage is sponsored by the Royal Bank of Canada and presented by Boeing typically the week following the Masters.



The St. Patrick's Day celebration in Savannah, Georgia is the city's largest annual celebration and the second largest St. Patrick's Day gathering in the United States. Attracting roughly 400,000 Irish and honorary Irish visitors and local celebrators each



year, Savannah's St. Patrick's Day traditions are steeped in the area's rich Irish heritage.

Parris Island, where all Marine recruits are trained east of the Mississippi River, is one of the most visited military facilities in the world. This translates into a significant economic impact for surrounding communities. Most visitors come to attend the recruit Graduation Ceremony. Visitors to these and other area events can find lodging, dining, tours and attractions in nearby Bluffton.



The Town of Bluffton is home to the award winning Inn at Palmetto Bluff :

- ▶ One of only four properties in South Carolina to receive a 2013 Five Diamond rating from AAA.
- ▶ It has received the *Forbes Travel Guide* Four Star Award for 2012.
- ▶ *U.S. News and World Report* ranked it the top hotel in the U.S.
- ▶ *Conde Nast Traveler* rated it the 11th best hotel or resort worldwide and the #1 best resort in the Southern U.S.



The Inn at Palmetto Bluff

The Inn was developed by Charlotte-based Crescent Resources and is managed by Auberge Resorts. It is in the Palmetto Bluff planned community in Bluffton and features 50 cottage-style suites, a Jack Nicklaus Signature golf course, day spa and amenities such as horseback riding, kayaking and nature preserves.



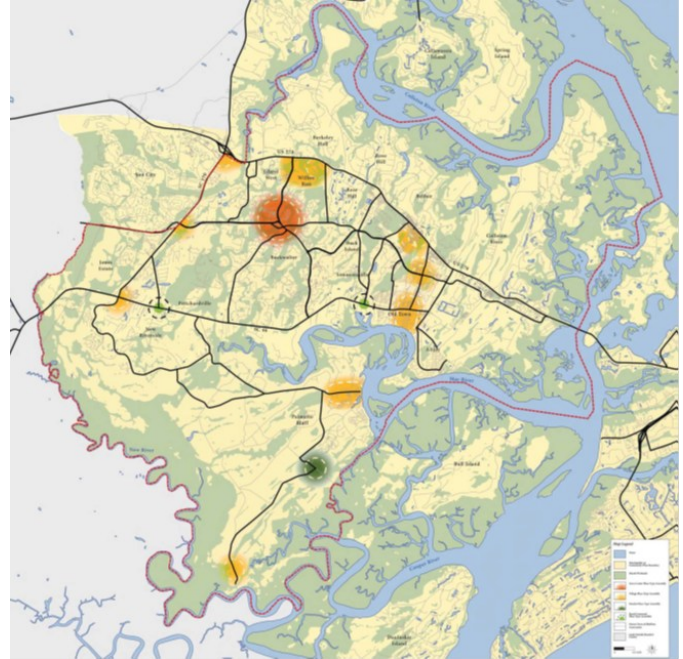
Town of Bluffton, South Carolina

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Bluffton Business News

Bluffton serves as a critical hub in the Beaufort County region, and with steady population growth throughout the last 20 years, the future development of the region has come into focus. Through several public sessions, the Growth Framework Map was created to define where growth should occur. It is a planning tool that organizes the future growth patterns of the Town and identifies centers for development and surrounding edges with varying degrees of residential and non-residential intensity.

The vision of the plan prepares for a more compact and sustainable future, where new development is at higher density and focused away from key natural resources. It envisions the next century of Bluffton as a period during which Bluffton matures into a connected, complete and small southern town that effectively and efficiently provides services and attract development.



The 10 Largest Employers Located in the Town

- ▶ Beaufort County School District (Bluffton Only)
- ▶ CareCore National, LLC
- ▶ The Inn at Palmetto Bluff
- ▶ Publix Supermarkets
- ▶ Resort Services, Inc.
- ▶ Hargray Communications
- ▶ Bluffton Township Fire District
- ▶ Kroger
- ▶ Town of Bluffton
- ▶ Outback Steakhouse



Town Expands the May River Technology Park at Buckwalter Place

The Town purchased 7.12 acres of land within the area known as Buckwalter Place during Fiscal Year 2013. The purchase was made possible from utility tax credits, not tax payer's dollars. Statewide utilities contribute to economic development projects as a way to give back to their communities as well as receive a tax credit.

The land purchase will expand the Town's May River Technology Park at Buckwalter Place to 30.25 acres and enable the Town to better negotiate with prospective companies to move their businesses and primary jobs to the Town.

The land purchase in addition to the establishment of the autonomous Bluffton Public Development Corporation allows the Town to become a competitive player in economic development for our area.



The Don Ryan Center for Innovation



In a world of innovation, one thing is certain: The better the idea, the faster you need to get it to market.

The Don Ryan Center for Innovation is a public-private partnership between the Clemson Institute for Economic and Community Development, CareCore National and the Town of Bluffton. Our mission is to advance regional economic development by offering a technology incubator program that provides the resources entrepreneurs, inventors and small business people need to assist them in their quest for success.

The center offers space and resources, and links participants to support in intellectual property, technology evaluation, and product development services as well as seed financing, business mentorships, corporate relationships and hands-on consulting support.

Located in Bluffton, in the beautiful South Carolina Lowcountry, the Don Ryan Center for Innovation is the catalyst innovators need to make their tech vision a reality.



Meet Our Innovators

NutriFusion is the first innovator to graduate from the Don Ryan Center for Innovation.

NutriFusion™ is the company that produces GrandFusion™, a product using a unique scientific process that allows for the preservation of all-natural nutrients, that when added to foods and beverages, supercharges their nutritional value.

GrandFusion™ allows food processors to add natural nutrients from whole fruits and vegetables into their food products. Food processors can enhance the nutritional profile of a wide variety of finished food products, such as breads, muffins, cookies, energy bars, salad dressings, soups, yogurts and beverages. NutriFusion™ can be baked, frozen, refrigerated and added to liquids, drinks and beverages.



For more information about our other innovators, please visit <http://www.ryan-innovation-center.com>



ADVANCE POINT GLOBAL
PROVIDING SECURITY SOLUTIONS TO BUSINESS



ARxChange®
TriCap Technology Group



bottlesUp®

SURFACE
SCIENTIFICS
Antimicrobial Coatings





Town of Bluffton, South Carolina

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What's Happening Around Town



The 2013 Hilton Head Island—Bluffton Chamber of Commerce Leadership Class donated new Shrimp Boat Playground equipment to DuBois Park as part of their annual class project. This donation along with a grant from the SC Department of Parks, Recreation and Tourism provided additional swing sets for the park and the building of a picnic pavilion with community restrooms and outdoor kitchen continue to strengthen the community atmosphere of Old Town.

Bluffton hosted the second annual Boiled Peanut Festival in Old Town. Bluffton Boilers, the local organization who organizes the festival, unveiled the “world’s largest boiled peanut” sculpture during the event’s preview day at the Bluffton Farmers Market. The new event hosts a Little Ms. Peanut and Little Goober contest, a cook-off and a boiled peanut eating contest. “This is one of those quirky events that makes Bluffton such a great place to live and visit,” Bluffton Mayor Lisa Sulka said.



The Bluffton Farmers Market was ranked 1st in the state of South Carolina and 11th nationwide in the midsize market division by American Farmland Trust. The AFT’s America’s Favorite Farmers Markets™ contest’s purpose is to raise national awareness about local farmers markets, the role they play in supporting local farms and the need to protect America’s farmland.

The Bluffton Police Department has teamed up with the Beaufort County Sheriff’s Office, the SC Department of Natural Resources (DNR) and the SC Department of Health and Environmental Control (DHEC) in creating a new Environmental Crimes Unit that will patrol land and water to enforce anti-littering and boating laws. Environmental crime enforcement has increased as the County’s population and visitors to the Bluffton area have grown.





2013 Financial Highlights

The previous sections of this document provided information on what is happening in our Town. The remainder of this document will provide readers with the Town's financial information for the fiscal year ended June 30, 2013.



The Heyward House and Bluffton Welcome Center circa 1840

A Successful Year

- ▶ The General Fund (the chief operating fund of the Town) had revenues in excess of expenditures (net change in fund balance) in the amount of \$1,758,817 during the fiscal year. The Town saw growth in the number of residential building permits and their related fees as the economy continues to recover.
- ▶ At the end of the fiscal year the General Fund had an unassigned* or unrestricted fund balance of \$3,968,242 or 40% of the year's total General Fund expenditures (\$9,867,231). This indicates a strong financial position for the Town.
- ▶ The Town continues to perform community infrastructure improvements in the Buck Island-Simmonsville Neighborhood. Project work in FY 2013 has included improvements to sewer, sidewalk and lighting services, and it has provided 21 additional residents with sewer service and 3,500 linear feet of sidewalk and pedestrian networks.

The Challenges Ahead

- ▶ Fund Balance Reserves—The Town strives to maintain service levels and adequate fund balance reserves through the adoption of financial policies. Financial policy standards were all met again in FY 2013.
- ▶ Infrastructure Maintenance—Appropriately funding public assets and infrastructure as to not accumulate deferred maintenance costs. The Town continues to fund an Equipment Replacement Reserve to help alleviate the costs of future vehicle replacements.
- ▶ Economic Development—Attracting and retaining businesses and adopting additional economic development strategies will continue to be a top priority in FY 2014.

* Unassigned fund balance represents fund balance that is not designated as nonspendable, restricted, committed or assigned for other intended purposes by external parties from the government, government elected officials or assigned staff.



Town of Bluffton, South Carolina

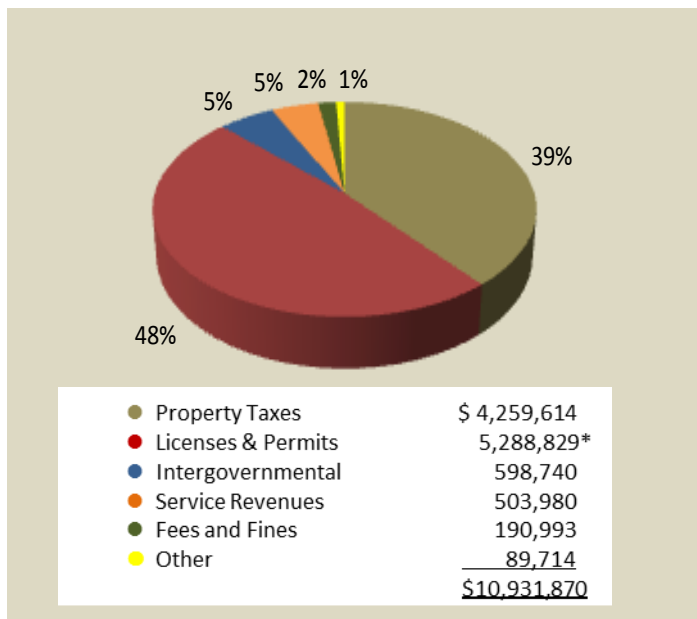
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Where Our Money Comes From

The Town pays for the services it provides to its citizens and businesses from various sources, referred to as revenue, such as various taxes, grants and charges for services.

The General Fund

When assessing the financial results of the Town, the Town's General Fund is the primary focus. The General Fund is the general operating fund of the Town and supports the regular day-to-day operations. It is used to account for all revenues and expenditures of the Town, except for those required to be accounted for in another fund such as Capital Improvement Projects or Stormwater activity. Below are the details of where the Town's General Fund revenues come from:



* Licenses & Permits

	2013	2012
Franchise Fees	\$ 1,322,686	\$ 1,250,200
Business Licenses	1,284,970	1,107,572
MASC Insurance Tax Collections	1,258,503	984,755
MASC Telecommunications	100,060	89,175
Building Permits	979,777	576,706
Municipal Improvement Dev. Fees	233,100	150,300
Administrative Fees	50,646	50,646
Fee in Lieu of Developer Fees	10,573	21,146
Application Fees	48,514	37,328
Total	\$ 5,288,829	\$ 4,267,828

Licenses and Permits

Licenses and Permits collections increased more than \$1 million from fiscal year 2012. These revenue increases indicate the local economy continues to strengthen. Major sources of revenues from licensing and permitting are as follows:

- ▶ Franchise Fees—Revenues resulting from any utility franchise fees paid to the Town including gas, electric, and cable.
- ▶ Business Licenses—Revenues collected for all businesses licensed in the Town.
- ▶ Municipal Association of South Carolina (MASC) Telecommunications and Insurance Tax—Revenues collected by MASC for the Town pursuant to the Telecommunications Act of 1999 and insurance and broker's tax.
- ▶ Building Safety Permits—Revenues from building permitting and inspection fees collected for residential and commercial development.
- ▶ Municipal Improvement Development Fees (MIDF)—Revenues paid per dwelling unit in the Jones, New Riverside, and Buckwalter Tracts upon initial building permit application.



Where Our Money Goes



The expenditures shown to the right are classified by the type of service provided. Below is a summary of the function and departments reported within the pie chart.

Administrative expenditures include the costs of all elected officials and the departments of Executive, Human Resources, Finance, Information Technology Departments and other Town-wide costs.

Judicial expenditures include the costs of Municipal Court and Judges.

Planning expenditures include the costs of Growth Management and the Planning & Community Development Departments.

Public Works expenditures include the costs of the Facilities/Asset Management Department.

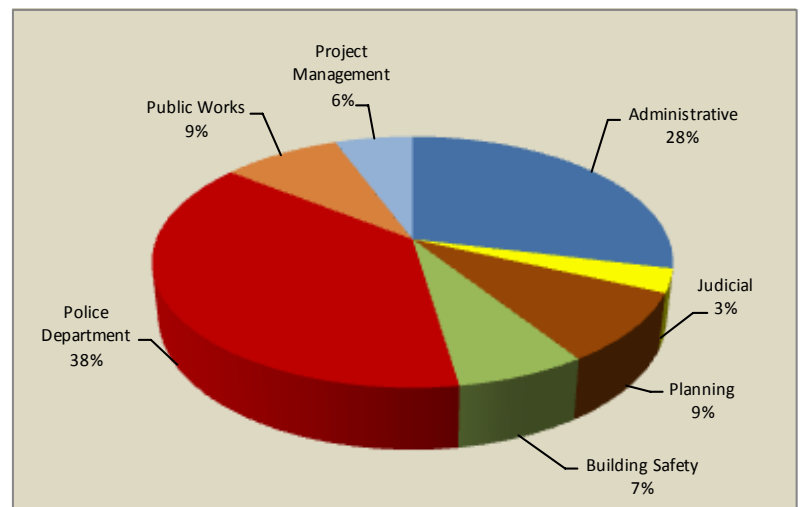
The remaining functions represent actual individual departments within the Town.

General Fund expenditures decreased \$586,132 from the prior year mainly due to the transfer of the Stormwater Management Department's expenditures from the General Fund to the Town's Stormwater Fund.

Once the Town receives taxes and other revenues, the monies must be efficiently spent to provide services to the citizens and businesses of the Town. As detailed in this section, the Town provides a variety of services to its residents and businesses.

Most service expenditures are recorded within the Town's General Fund since this fund finances the Town's daily operations.

During the year ended 2013, the Town expended its funds as shown below. The per capita amounts represent the amount that the Town expended on each type of service per resident while the aggregate represents the total amount spent.



Expenditures Per Capita				
	2013 \$'s	Per Capita	2012 \$'s	Per Capita
Administrative	\$ 2,831,922	\$ 220	\$ 2,665,811	\$ 207
Judicial	298,752	23	310,176	24
Planning	889,177	69	990,387	77
Building Safety	676,502	52	649,635	50
Police Department	3,742,497	290	3,505,715	272
Public Works	860,678	67	1,084,895	84
Project Mgmt.	567,703	44	618,710	49
Stormwater Mgmt.	-	-	628,031	48
Total	\$9,867,231	\$765	\$10,453,363	\$811



Town of Bluffton, South Carolina

Established 1825

Assets and Liabilities

In addition to where the Town's money comes from and where it goes, it is also important to understand the flow of the Town's financial position. When we look at the overall financial condition of the Town, it is better to use the full accrual basis of accounting, which is similar to the basis of accounting used in the private sector. This allows us to consider all assets, liabilities, revenues and expenses of the Town.

The following schedule is intended to show the difference (defined as net position) between the Town's total assets and the Town's total liabilities as of June 30, 2013. The Statement of Net Position reflects a healthy financial condition.

Net Position

Our Assets—What We Have

Unrestricted current assets consisting mainly of cash and amounts owed to the Town	\$10,835,644
Restricted current assets consisting entirely of cash	4,606,609
Noncurrent Assets	75,000
Capital assets consisting primarily of land, buildings, equipment and vehicles	26,966,623
Total Assets and Deferred Outflows of the Town	\$42,483,876

Our Liabilities—What We Owe

Current liabilities and deferred inflows of resources consisting of all the amounts the Town owes and expects to pay in FY 2013 except for bonds	\$ 1,865,778
Amounts the Town owes and expects to pay after 2013, except for bonds	802,926
Amount of bonds payable	17,090,000
Total Liabilities and Deferred Inflows of the Town	\$19,758,704
Net Position	\$22,725,172

The assets of the Town exceeded its liabilities at the close of the fiscal year by \$22,725,172 (net position). Of this amount, \$6,543,899 (unrestricted net position) may be used to meet the Town's ongoing obligations to its citizens and creditors. Portions of the restricted net position amount are designated for future capital improvements, tourism projects and related support, debt service and other designated purposes.



Outstanding Bonds

A major liability of the Town is the amount of outstanding general obligation and revenue bonds. The Town's total bond issuances outstanding as of June 30, 2013, equal approximately \$17.1 million dollars. The Town maintains a bond rating of Aa2 from Moody's and a AA- from Standard and Poor's rating agencies. Rating agencies assess the credit quality of municipal bond issues and assign a credit rating based on their analysis. Both agencies stated the high ratings reflect the growth in the Town's tax base in recent years and a healthy financial position supported by fiscal policies, professional management and modest debt as shown in the bonds per capita results below.

Bonds					
(in thousands)	2009	2010	2011	2012	2013
General Obligation Bonds					
Beginning balance	\$ 60	\$ 40	\$ 20	\$ 6,500	\$ 6,500
Debt issued during the year	-	-	6,500	-	-
Principal repaid during the year	(20)	(20)	(20)	-	-
Ending Balance	\$ 40	\$ 20	\$ 6,500	\$ 6,500	\$ 6,500
TIF Revenue Bonds					
Beginning balance	\$ 14,000	\$ 13,450	\$ 12,875	\$ 11,870	\$ 11,240
Debt issued during the year	-	-	11,870	-	-
Principal repaid during the year	(550)	(575)	(12,875)	(630)	(650)
Ending Balance	\$ 13,450	\$ 12,875	\$ 11,870	\$ 11,240	\$ 10,590
Total Outstanding Bonds	\$ 13,490	\$ 12,895	\$ 18,370	\$ 17,740	\$ 17,090
Outstanding Bonds per Capita (\$000's)	\$ 1.08	\$ 1.03	\$ 1.43	\$ 1.38	\$ 1.33



Heyward Cove opens to the May River in the Old Town District of Bluffton



Town of Bluffton, South Carolina

Established 1825

Revenues vs. Expenditures

The table below summarizes the revenue and expenditure activity of the Town's General Fund. The Town's revenues covered service expenditures as well as limited debt and capital outlay expenditures.

The General Fund

Revenues of the Town including other financing sources*	\$ 11,693,988
Expenditures of the Town to provide services	(9,575,128)
Excess Revenues	\$ 2,118,860
Debt Service Expenditures	(43,949)
Capital Outlay Expenditures including other financing uses*	(316,094)
Excess Revenues	\$ 1,758,817



Kim Jones, Stormwater Management Department, performing water quality tests. The Town completed the New Riverside Stormwater lagoon in 2013. This is the first major construction project aimed at restoring the health of the May River. The project was funded in part by the Town's US EPA 319 Grant through SCDHEC.

The Town maintains a separate Capital Improvements Program (CIP) Fund to account for the financial transactions and resources used by the Town for the acquisition or construction of major capital projects. The table below lists the CIP projects and related expenditures that the Town incurred during fiscal year 2013.

The Capital Improvements Program Fund

Beginning Fund Balance	\$ 1,576,372
Capital Improvements Program Revenue	1,685,159
Capital Expenditures by Project:	
Tech Park Expansion	(752,434)
May River Road/Bruin Road Streetscape	(105,165)
Old Town Signage	(70,414)
Parks Projects	(46,739)
Buck Island/Simmons ville Sewer	(183,002)
Wharf Street Redevelopment Project	(49,864)
Buck Island/Simmons ville Sidewalk & Lighting	(327,022)
Other Projects	(110,274)
Funding transfers from other Funds	362,879
Ending Fund Balance	\$ 1,979,496

The Stormwater Fund is used to account for stormwater utility fees collected on property tax bills and restricted for use in the Town's Stormwater Management Program. Related grants are also recorded in this fund. The table below lists the routine operating and capital expenditures that the Town incurred during fiscal year 2013.

The Stormwater Fund

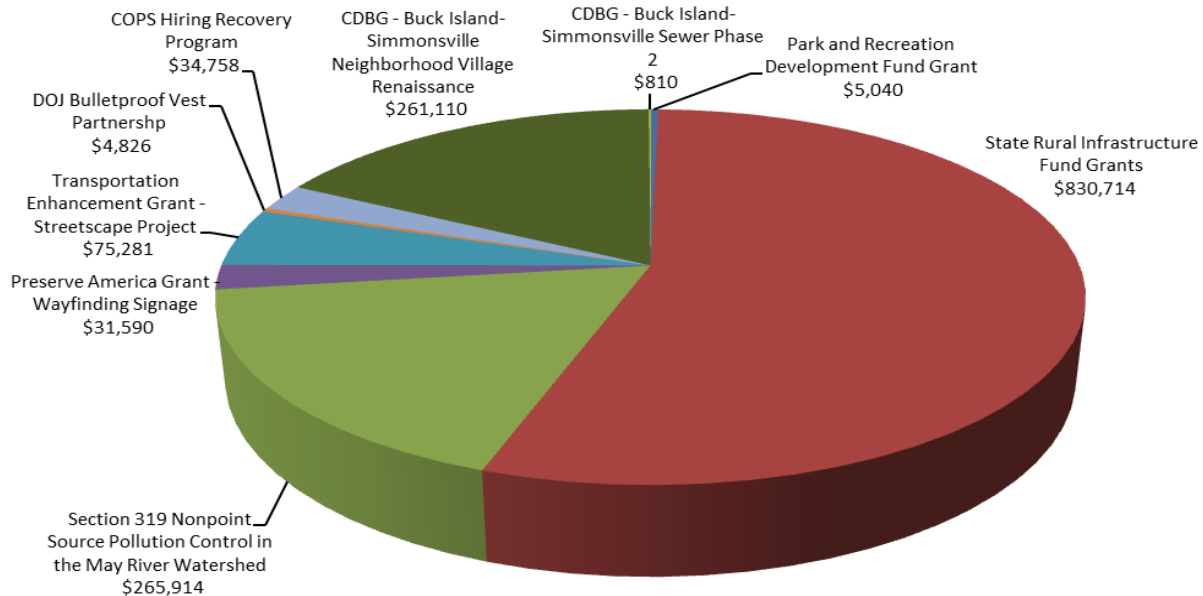
Beginning Fund Balance	\$ 1,387,640
Stormwater Fund Revenue	1,348,146
Personnel & Operating Expenditures	(629,281)
Capital Expenditures by Project:	
Stormwater Improvements	(33,091)
Section 319 Grant Pilot Project	(325,599)
Funding transfers to other Funds	(184,379)
Ending Fund Balance	\$ 1,563,436

* Other Financing Sources (uses) are increases (decreases) to Fund Balance and include Proceeds from Capital Leases and Transfers In and (Transfers Out) from and (to) other funds.



Grants In Action

FY 2013 Grant Reimbursements - \$1,510,043



The Town received more than \$1.5 million in federal, state and local grant dollars for capital and operation expenses in Fiscal Year 2013.

- The Town utilized approximately \$830,000 in state utility tax credit dollars from Palmetto Electric, Hargray Communications and other state-wide utilities to purchase 7.12 Acres of Land at Buckwalter Place. This publicly-owned land will be a negotiating tool to attract more knowledge-based jobs to Bluffton facilitating the Town's Economic Development efforts and expanding the footprint of the May River Technology Park.
- The Clean Water Act Section 319 Grants for Nonpoint Source Pollution Control Projects were used to improve water quality in portions of the May River through a combination of projects and programs.
- The Buck Island-Simmonsville Neighborhood Village Renaissance Community Development Block Grant (CDBG) assisted with the funding of the Town's efforts to provide sidewalks and lighting along the northern sections of Buck Island Road and Simmonsville Road.
- The Transportation Enhancement Grant assisted with the funding of the Town's efforts to provide landscaping, lighting, benches, trash cans and pedestrian meeting areas along May River and Bruin Roads.
- The Preserve America Grant assisted with funding the construction of street signs, kiosks and directional signs for the Town of Bluffton.
- The COPS Hiring Recovery Program assisted with the funding of salary and benefits for two sworn officers for Community Oriented Police Services.

In addition to money that was spent this year the Town was already been awarded an additional \$500,000 in CDBG funds to complete additional water, sewer and sidewalk projects in the Buck Island Simmonsville area in the coming year.



Additional copies of this report may be obtained by contacting:

The Town of Bluffton
Attn: Finance Department
20 Bridge Street
Bluffton, SC 29910
(843)706-4545

In addition, this report is available at:

www.townofbluffton.sc.gov/documents/pafr.2013.pdf

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